

# AMENDED EDGEWATER HERITAGE CENTER AND PARK

## FIRST AMENDMENT TO A PLANNED UNIT DEVELOPMENT

LOTS 25 THRU 28, BLOCK 115 CITY OF EDGEWATER, STATE OF COLORADO  
CITY AND COUNTY OF DENVER, STATE OF COLORADO

LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF 25TH AVENUE AND CHASE STREET  
2501 CHASE STREET

### PROJECT INFORMATION

**EXISTING BUILDING DESCRIPTION:**  
EXISTING HISTORIC TWO STORY WOOD FRAMED AND UNREINFORCED MASONRY STRUCTURE

**PROJECT DESCRIPTION:** LEVEL 3 ALTERATION, CHANGE OF OCCUPANCY, CLASSROOM STUDIO SPACE AND RESTROOMS WITHIN BUILDING ENVELOPE ON 2ND FLOOR, LIGHT FINISHED FIRST FLOOR WITH FUTURE ROUGHED-IN RR USED AS STORAGE AND S-1, EXTERIOR ENTRY DECK AT NORTH AND ENTRY PATIO TO 1ST FLOOR AT SOUTHWEST CORNER, EXTERIOR LULA ADDITION ON WEST ELEVATION FOR ADA ACCESS TO BUILDING.

**MAX STUDENTS:** 40 STUDENTS

**USE:** PUBLIC FACILITY

**FLOOR AREA:**  
BUILDING FOOTPRINT: 2501 SQ. FT.

1ST FLOOR: 2094 SQ. FT.  
2ND FLOOR AND ENTRY LANDING: 2202 SQ. FT.  
MECHANICAL PLATFORM: 526 SQ. FT.  
**TOTAL SQUARE FOOTAGE:** 4822 SQ. FT.

DECK AND STAIRS: 124 SQ. FT.  
PROPERTY: 13,300 SQ. FT.

**ZONING:** C-1 ZONE DISTRICT AND R-3 ZONE DISTRICT

**LEGAL DESCRIPTION:** BLOCKS 115, LOTS 25, 26, 27 & 28 OF THE EDGEWATER SUBDIVISION  
EDGEWATER SUBDIVISION

#### OWNER SIGNATURE

THE CITY OF EDGEWATER, PROPERTY OWNER OF 2501 CHASE STREET, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY: \_\_\_\_\_

HJ STALF, CITY MANAGER

#### APPROVALS

##### CITY COUNCIL APPROVAL

THE CITY COUNCIL OF EDGEWATER, COLORADO, REPRESENTED BY THE COMMISSION CHAIRPERSON, DOES HEREBY AUTHORIZE AND APPROVE THIS PUD AMENDMENT, FOR 2501 CHASE STREET ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

BY: \_\_\_\_\_

#### RECORDER'S CERTIFICATE

##### COUNTY CLERK AND RECORDER

JEFFERSON COUNTY CLERK AND RECORDER'S ACCEPTANCE. THIS PUD AMENDMENT, WAS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF THE COUNTY OF JEFFERSON, GOLDEN, COLORADO ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

RECEPTION NUMBER: \_\_\_\_\_

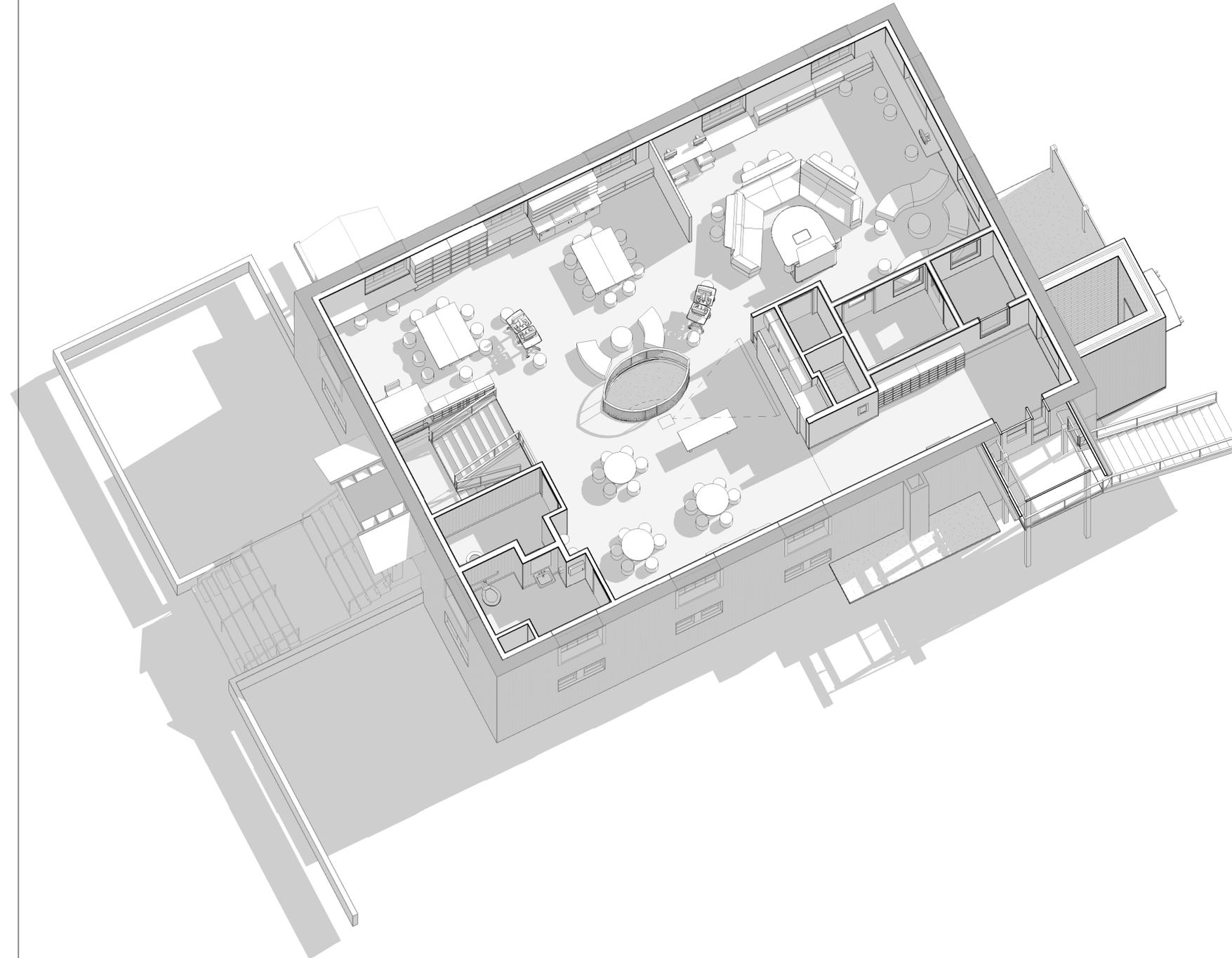
RECORDATION OF PROTECTIVE COVENANTS (IF APPLICABLE)

PROTECTIVE COVENANTS RECORDED UNDER RECEPTION NUMBER \_\_\_\_\_

### DRAWING INDEX

#### PUD SET

- 1 COVER SHEET
- 2 SITE LAYOUT PLAN
- 3 SITE GRADING, UTILITY & PLAN
- 4 LANDSCAPE PLAN
- 5 ARCHITECTURAL FLOOR PLAN
- 6 ARCHITECTURAL BUILDING ELEVATIONS



#### Property Owner

City of Edgewater  
2401 Sheridan Blvd.  
Edgewater, Colorado, 80214  
Telephone: 720-763-3012  
FAX: 303-238-7192  
Contact: Dan Maples

#### Tenant

Gold Crown Foundation  
150 S. Harlan S.t  
Lakewood, Colorado, 80226  
Telephone: 303-773-1442  
FAX: 303-773-5949  
Contact: Kevin Petty

#### Civil Engineer

Brown Civil Engineering  
1300 Plaza Court North, Suite 101  
Lafayette, Colorado, 80026  
Telephone: 303-551-8910  
FAX: 303-551-8940

#### Architect

AndersonMasonDale Architects, P.C.  
3198 Speer Boulevard  
Denver, Colorado, 80211  
Telephone: 303-294-9448  
FAX: 303-294-0762

**COVER SHEET**

**SHEET: 1 OF 6**

DATE: 30 SEPTEMBER 2016

AMENDED EDGEWATER HERITAGE CENTER & PARK PUD

# AMENDED EDGEWATER HERITAGE CENTER AND PARK

## FIRST AMENDMENT TO A PLANNED UNIT DEVELOPMENT

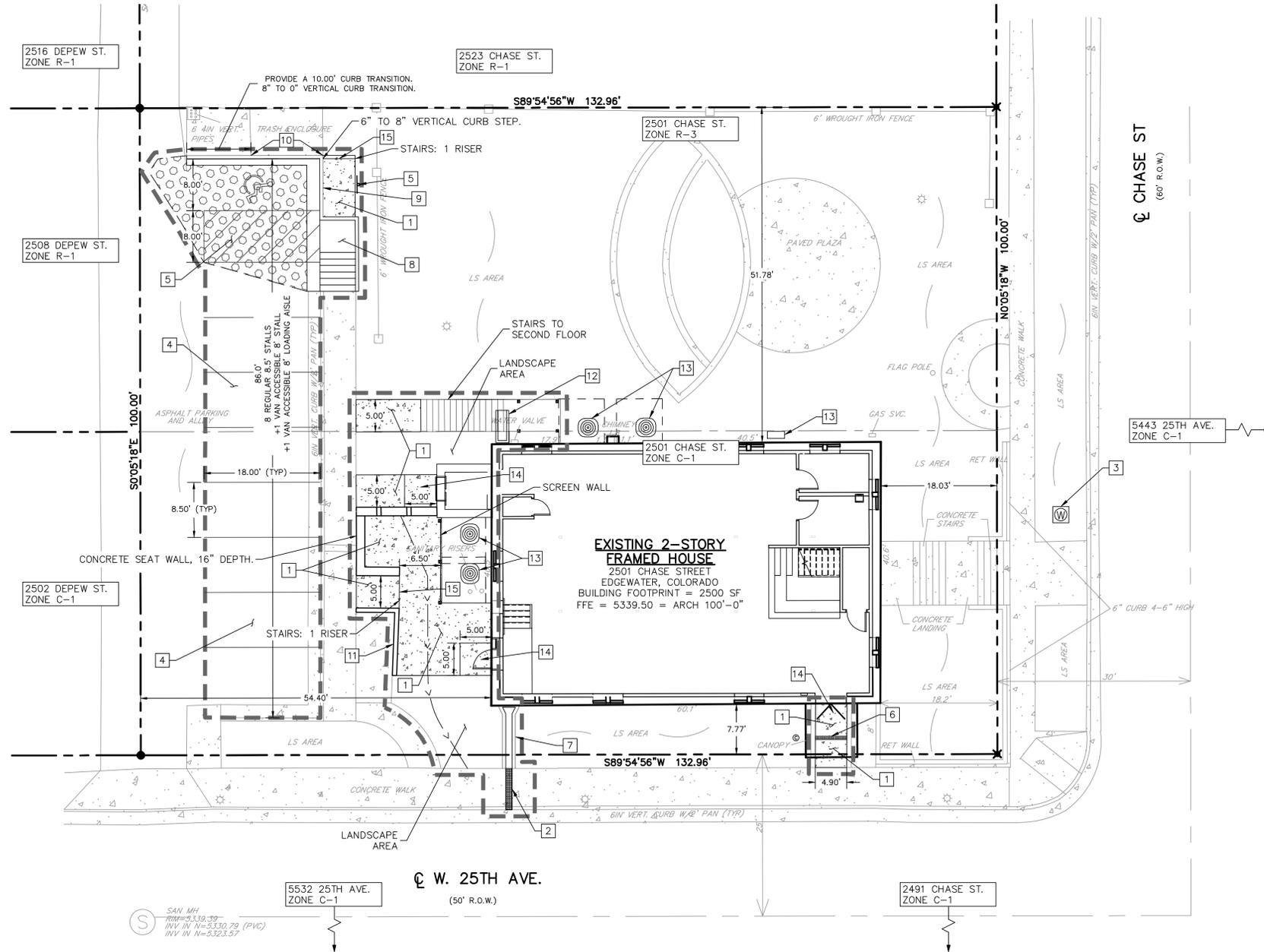
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LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF 25TH AVENUE AND CHASE STREET  
2501 CHASE STREET



**NORTH**

SCALE: 1" = 10'



LAYOUT KEY NOTES	
ID	DESCRIPTION
1	PROVIDE 4" THICK CONCRETE SIDEWALK AND PATIO AREA.
2	PROVIDE SIDEWALK CHASE.
3	1" DOMESTIC WATER METER, RE SHEET C-201.
4	PROVIDE STANDARD PARKING STALL PAINT STRIPING.
5	PROVIDE VAN ACCESSIBLE PARKING STALL PAINT STRIPING & HANDICAP SIGN.
6	PROVIDE NDS 5" PRO SERIES DEEP PROFILE CHANNEL DRAIN #800 W/ PEDESTRIAN TRAFFIC CHANNEL GRATE #826. RE SITE GRADING & UTILITY PLAN FOR ADDITIONAL INFORMATION.
7	PROVIDE 1" INSIDE WIDTH U-CHANNEL TO CONVEY ROOF DRAIN DOWN SPOUT FLOWS TO SIDEWALK CHASE IN RIGHT OF WAY. RE LAYOUT KEY NOTE 2 AND SITE GRADING & UTILITY PLAN FOR ADDITIONAL INFORMATION.
8	PROVIDE CURB RAMP - TYPE-4.
9	PROVIDE 6" VERTICAL CURB
10	PROVIDE 8" VERTICAL CURB
11	PROVIDE CONCRETE CURB HEAD, MAX. HEIGHT 6".
12	PROVIDE SPLASH BLOCK.
13	PROPOSED AIR COOLED CONDENSING UNITS.
14	PROPOSED ADA LANDING. RE SHEET 3 OF 6 FOR GRADING INFORMATION.
15	PROPOSED CONCRETE STAIRS. RE SHEET 3 OF 6 FOR GRADING INFORMATION.

### PROPOSED LAYOUT LEGEND

- LIMITS OF CONSTRUCTION
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- PROPOSED SWALE
- PROPOSED SIGN
- ZONING LINE

### PROPOSED LAYOUT LEGEND

- PROP. ASPHALT PAVEMENT-AUTOMOBILE PARKING
- PROP. CONCRETE PAVEMENT

### EXISTING LEGEND

- SET NAIL/WASHER IN ASPHALT
- SET #5 REBAR WITH ALUM. CAP PLS 10734
- LIGHT POLE

**BENCHMARK:**  
CHISELED CROSS ON SOUTHEAST CORNER CONCRETE DRAINAGE STRUCTURE ON THE EAST SIDE OF HARLAN STREET AT WALKER BRANCH PARK. ELEVATION = 5348.86.  
SITE: MANHOLE ON W. 25TH AVENUE AT THE ALLEY BETWEEN CHASE STREET AND DEPEW STREET. ELEVATION = 5339.40.  
NOTE: THIS INFORMATION WAS FURNISHED BY THE CITY OF EDGEWATER DESIGNATED ENGINEER, DIAMONDBACK ENGINEERING & SURVEYING, INC..

### PARKING STALL CALCULATION TABLE

	EXISTING PROVIDED	PROPOSED REQUIRED*	PROPOSED PROVIDED
REGULAR STALLS	8	8	8
STANDARD ACCESSIBLE STALLS	1	0	0
VAN ACCESSIBLE STALLS	0	1	1
TOTAL STALLS	9	9	9

\* 40 STUDENTS X 0.21 = 8.4 STALLS REQUIRED.

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## SITE LAYOUT PLAN

SHEET: 2 OF 6

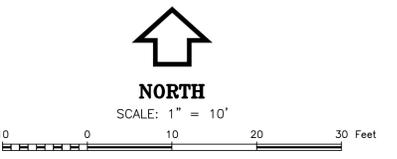
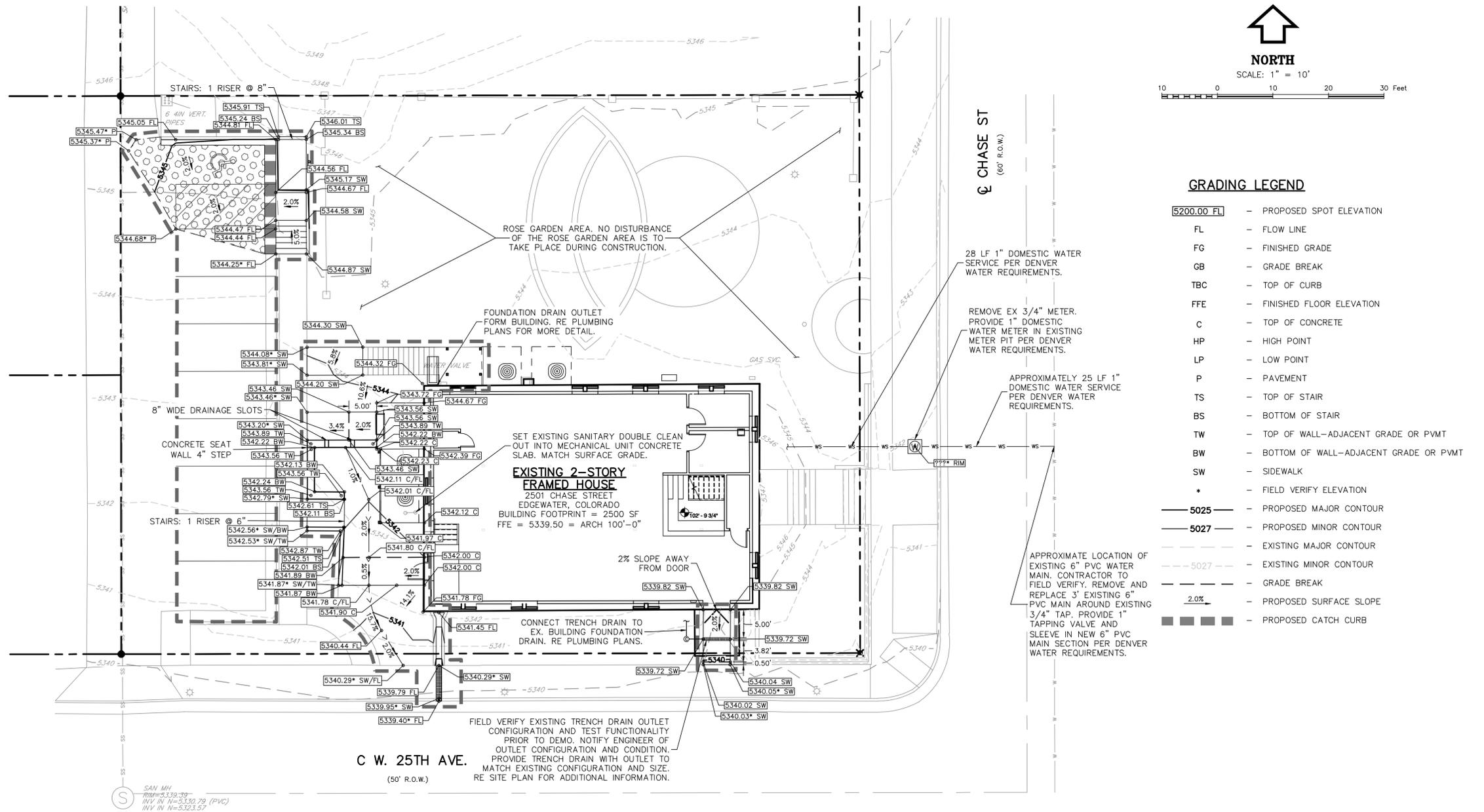
DATE: 30 SEPTEMBER 2016

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2501 CHASE STREET



**GRADING LEGEND**

<span style="border: 1px solid black; padding: 2px;">5200.00 FL</span>	- PROPOSED SPOT ELEVATION
FL	- FLOW LINE
FG	- FINISHED GRADE
GB	- GRADE BREAK
TBC	- TOP OF CURB
FFE	- FINISHED FLOOR ELEVATION
C	- TOP OF CONCRETE
HP	- HIGH POINT
LP	- LOW POINT
P	- PAVEMENT
TS	- TOP OF STAIR
BS	- BOTTOM OF STAIR
TW	- TOP OF WALL-ADJACENT GRADE OR PVMT
BW	- BOTTOM OF WALL-ADJACENT GRADE OR PVMT
SW	- SIDEWALK
*	- FIELD VERIFY ELEVATION
<span style="border-bottom: 1px solid black; width: 20px; display: inline-block;"></span>	- PROPOSED MAJOR CONTOUR
<span style="border-bottom: 1px dashed black; width: 20px; display: inline-block;"></span>	- PROPOSED MINOR CONTOUR
<span style="border-bottom: 1px solid black; width: 20px; display: inline-block;"></span>	- EXISTING MAJOR CONTOUR
<span style="border-bottom: 1px dashed black; width: 20px; display: inline-block;"></span>	- EXISTING MINOR CONTOUR
<span style="border-bottom: 1px solid black; width: 20px; display: inline-block;"></span>	- GRADE BREAK
<span style="border-bottom: 1px solid black; width: 20px; display: inline-block;"></span> 2.0%	- PROPOSED SURFACE SLOPE
<span style="display: inline-block; width: 10px; height: 10px; background-color: gray; border: 1px solid black;"></span>	- PROPOSED CATCH CURB

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<b>Property Owner</b> City of Edgewater 201 S. Harvard Edgewater, Colorado 80212 Tel: 303.751.1212 Fax: 303.751.1212	<b>Tenant</b> City of Edgewater 150 S. Harvard Edgewater, Colorado 80212 Tel: 303.751.1212 Fax: 303.751.1212	<b>Civil Engineer</b> Diamondback Engineering & Surveying, Inc. 1000 S. Harvard Edgewater, Colorado 80212 Tel: 303.751.1212 Fax: 303.751.1212	<b>Architect</b> Diamondback Engineering & Surveying, Inc. 1000 S. Harvard Edgewater, Colorado 80212 Tel: 303.751.1212 Fax: 303.751.1212
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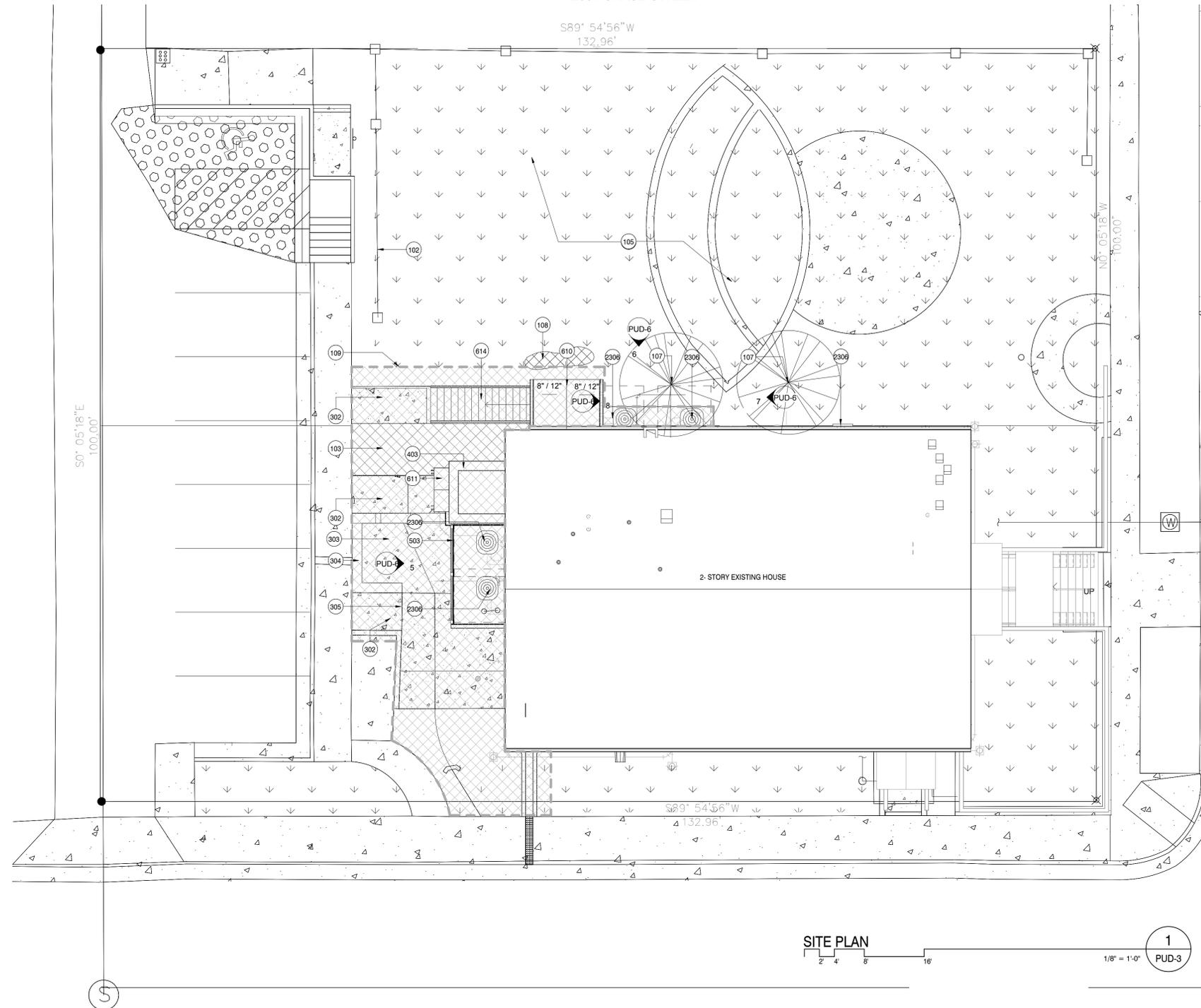
**SITE GRADING  
& UTILITY PLAN  
SHEET: 3 OF 6**  
DATE: 30 SEPTEMBER 2016

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SITE PLAN



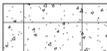
1/8" = 1'-0"

1  
PUD-3

### WORK NOTES

- 102 EXISTING FENCE, TO REMAIN
- 103 NEW SOD AREA, EXTEND EXISTING IRRIGATION SYSTEM
- 105 PROTECT ROSE GARDEN AND PLANTING IN AREA
- 107 APPROX LOCATION OF TREES TO REMAIN
- 108 APPROX LOCATION OF ROSES TO REMAIN
- 109 AREA OF EXISTING LANDSCAPE AREA TO BE DISTURBED
- 302 NEW CONCRETE WALK
- 303 NEW CONCRETE PATIO
- 304 CONCRETE BENCH
- 305 1 RISER STEP
- 403 NEW ELEVATOR SHAFT
- 503 STEEL POST MOUNTED STEEL FRAME W/ WHITEBOARD PAINTED FIBER CEMENT PANELS
- 610 2X WOOD FRAMED ASPHALT SHINGLE ROOF W/ TREATED WOOD POST SUPPORT
- 611 2X WOOD FRAMED ROOF W/ PNT. WOOD BRACKETS
- 614 NEW EGRESS STAIRS W/ CONCRETE PATH
- 2306 NEW GROUND MOUNTED CONDENSING UNIT ON CONCRETE PAD

### LEGEND

-  EXISTING GARDEN AREA TO REMAIN
-  CONCRETE WALK
-  NEW SOD OR PLANTING
-  EXISTING LANDSCAPE AREA TO BE DISTURBED

### GENERAL NOTES

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## LANDSCAPE PLAN

SHEET: 4 OF 6

DATE: 30 SEPTEMBER 2016

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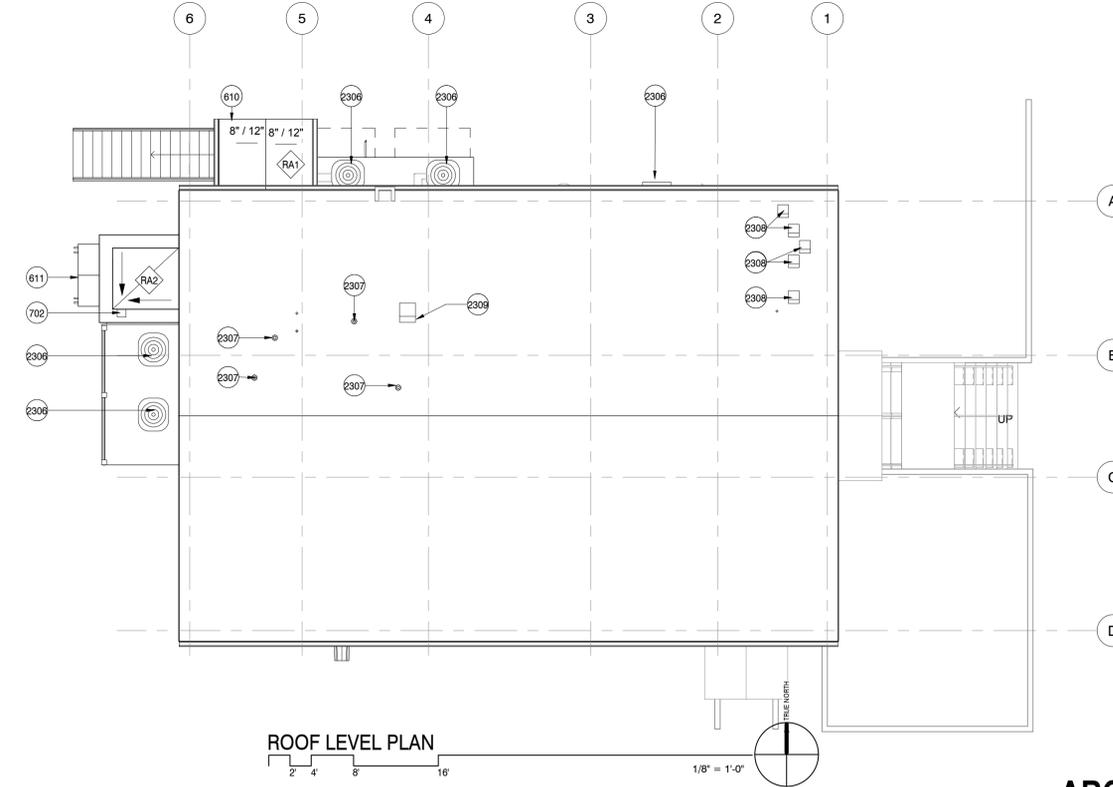
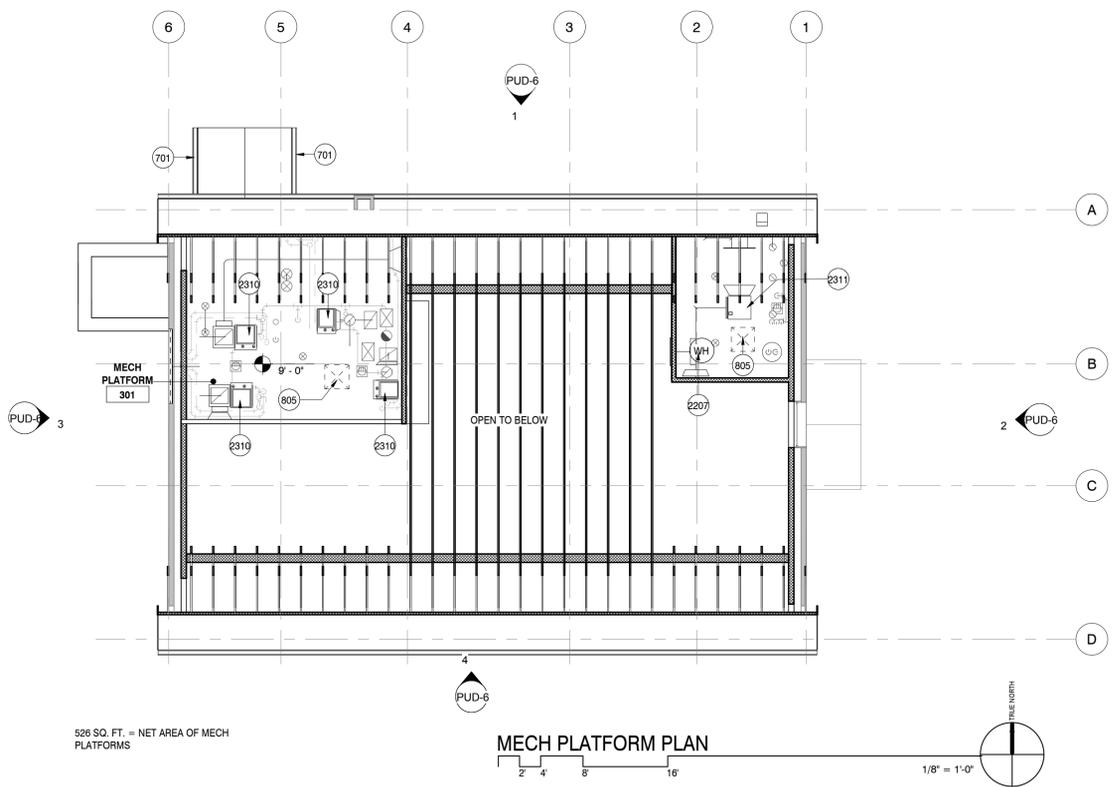
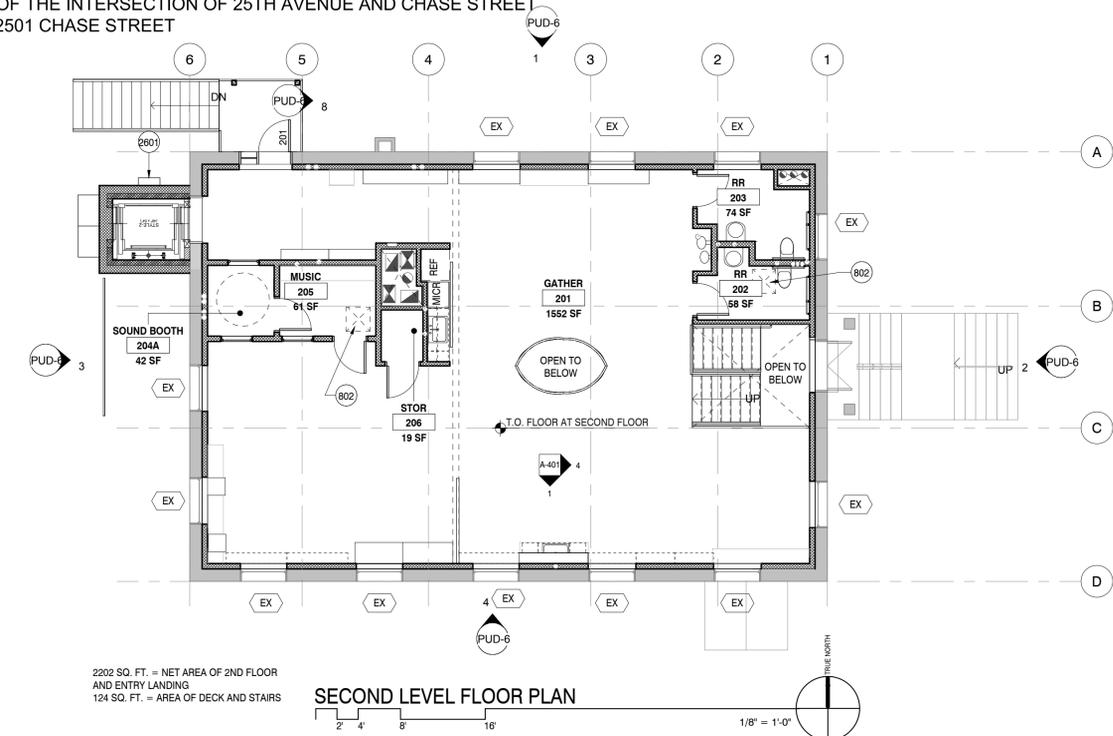
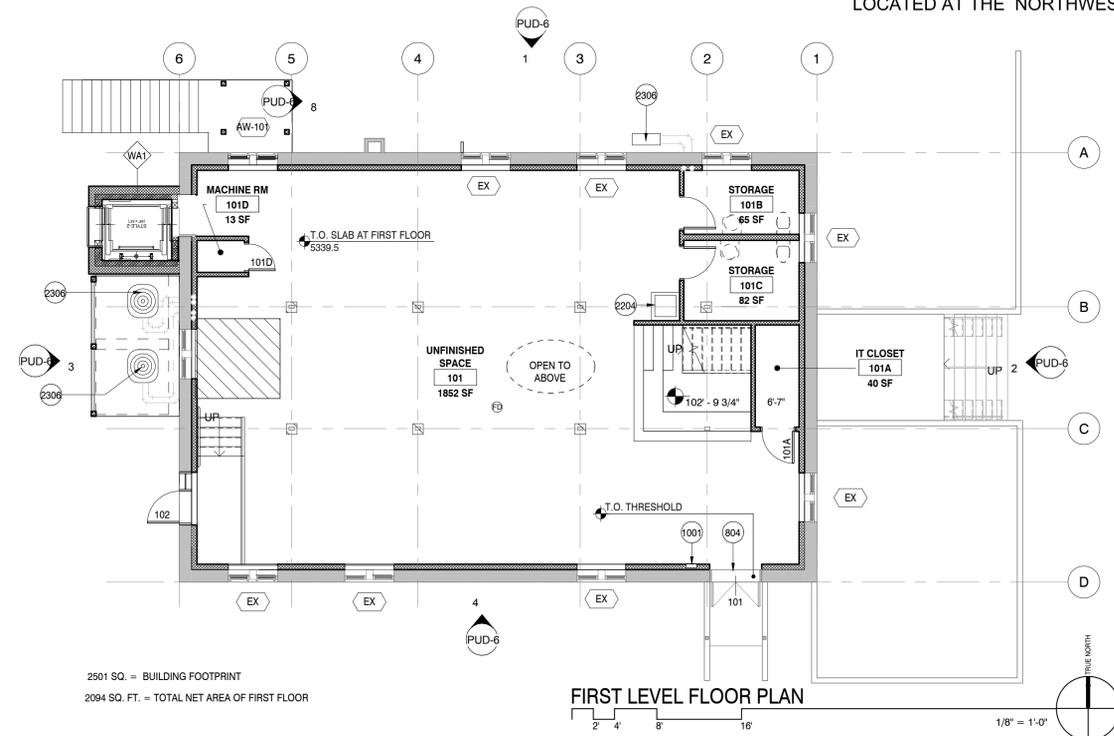
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- WORK NOTES**
- 610 2X WOOD FRAMED ASPHALT SHINGLE ROOF W/ TREATED WOOD POST SUPPORT
  - 611 2X WOOD FRAMED ROOF W/ PNT. WOOD BRACKETS
  - 701 4" PREFINISHED METAL BOX GUTTER SCUPPER AND DOWNSPOUT
  - 702 ACCESS TO MECH PLATFORM ABOVE
  - 802 ACCESSIBLE SLOPED THRESHOLD
  - 805 ACCESS TO MECH PLATFORM FROM BELOW
  - 1001 FIRE EXTINGUISHER CABINET - FULL RECESSED
  - 2204 MOP SINK, RE: PLUMBING
  - 2207 NEW WATER HEATER
  - 2306 NEW GROUND MOUNTED CONDENSING UNIT ON CONCRETE PAD
  - 2307 3"Ø CONCENTRIC VENT THROUGH ROOF. EXTEND A MINIMUM OF 18" ABOVE SLOPED ROOF.
  - 2308 8"Ø ROOF CAP FOR SLOPED ROOF
  - 2309 12"Ø ROOF CAP FOR SLOPED ROOF
  - 2310 NEW GAS FURNACE
  - 2311 EXHAUST FAN
  - 2601 ELECTRICAL METER, RE: ELECTRICAL DRAWINGS

- LEGEND**
- EXISTING BUILDING WALLS
  - NEW CONSTRUCTION
  - NEW DOORS AT EXISTING MASONRY OPENING
  - EXISTING FRAME TO REMAIN, PAINT, NEW DOOR



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**ARCHITECTURAL FLOOR PLAN**  
**SHEET: 5 OF 6**  
DATE: 30 SEPTEMBER 2016

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### WORK NOTES

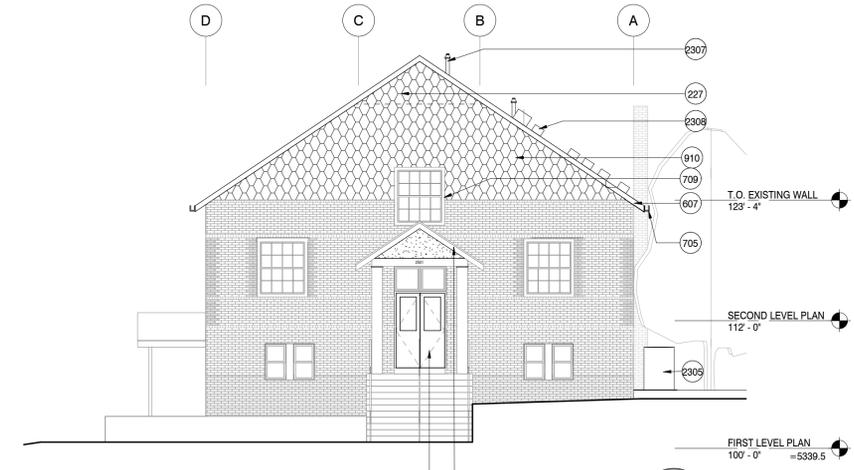
- 227 REMOVE VINYL SIDING, MULTIPLE LAYERS OF ASPHALT SHINGLES, AND ALL MATERIALS DOWN TO EXTERIOR SHEATHING. IF HISTORIC SHINGLES ARE PRESENT, CONSULT ARCHITECT BEFORE REMOVAL.
- 306 CONCRETE PAD
- 402 NEW BRICK MASONRY AT ELEVATOR SHAFT
- 503 STEEL POST MOUNTED STEEL FRAME W/ WHITEBOARD PAINTED FIBER CEMENT PANELS
- 507 STEEL POST
- 602 COMPOSITE LUMBER FRAME WITH WOOD POST AND METAL MESH INFILL
- 607 1 X 6 FASCIA TO MATCH EXISTING, PNT
- 608 EXPOSED RAFTER TAILS TO MATCH EXISTING, PNT.
- 610 2X WOOD FRAMED ASPHALT SHINGLE ROOF W/ TREATED WOOD POST SUPPORT
- 611 2X WOOD FRAMED ROOF W/ PNT. WOOD BRACKETS
- 612 WOOD FENCE WITH POST
- 613 WOOD GATE WITH POST
- 705 NEW GUTTERS AND DOWNSPOUTS
- 709 NEW FLASHING AT WINDOW
- 806 EXTERIOR ELEVATOR DOOR
- 807 NEW HOLLOW METAL DOOR IN EXISTING FRAME
- 808 NEW WINDOW AT EXISTING FRAMED OPENING, REUSE REMOVED EXISTING WINDOW
- 809 NEW HOLLOW METAL DOOR AT EXISTING WINDOW OPENING
- 906 REPAINT TRIM AND POST, REPAIR DAMAGE TRIM TYP.
- 910 NEW WOOD HEXAGON SHINGLES
- 911 PAINT AT EXTERIOR BRICK; TO REMAIN
- 2208 NEW PLUMBING VENT
- 2302 MECH LOUVER, RE: MECH
- 2305 CONDENSING UNIT BEHIND MECH SCREEN; RE: MECH
- 2306 NEW GROUND MOUNTED CONDENSING UNIT ON CONCRETE PAD
- 2307 3"Ø CONCENTRIC VENT THROUGH ROOF. EXTEND A MINIMUM OF 18" ABOVE SLOPED ROOF.
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### GENERAL NOTES

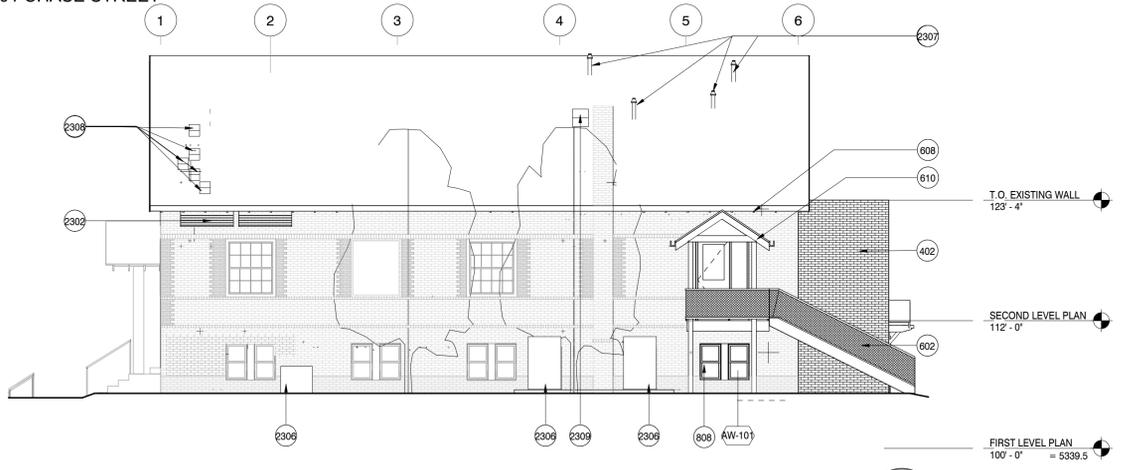
- 1. GENERAL NOTE

### LEGEND

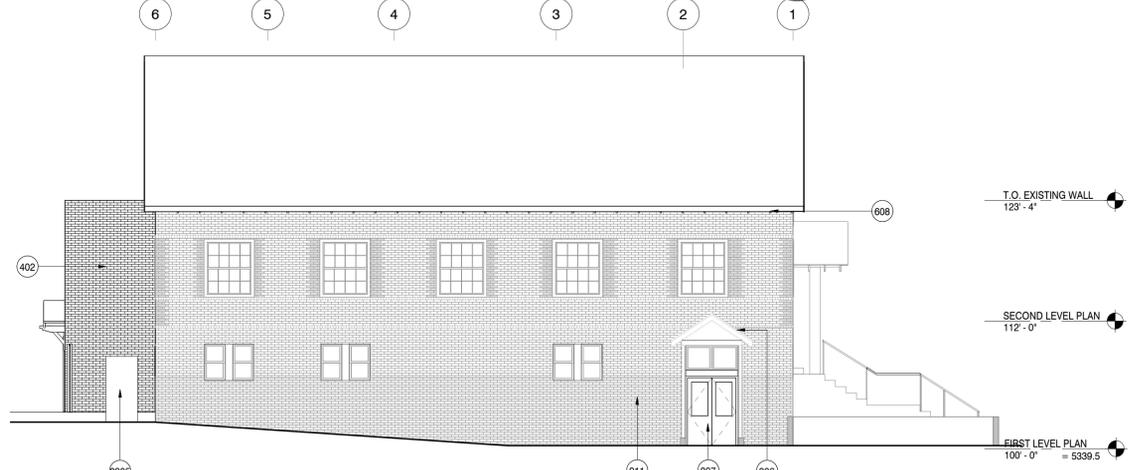
- EXISTING BUILDING, NOT PART OF ARCHITECTURAL SCOPE
- NEW CONSTRUCTION



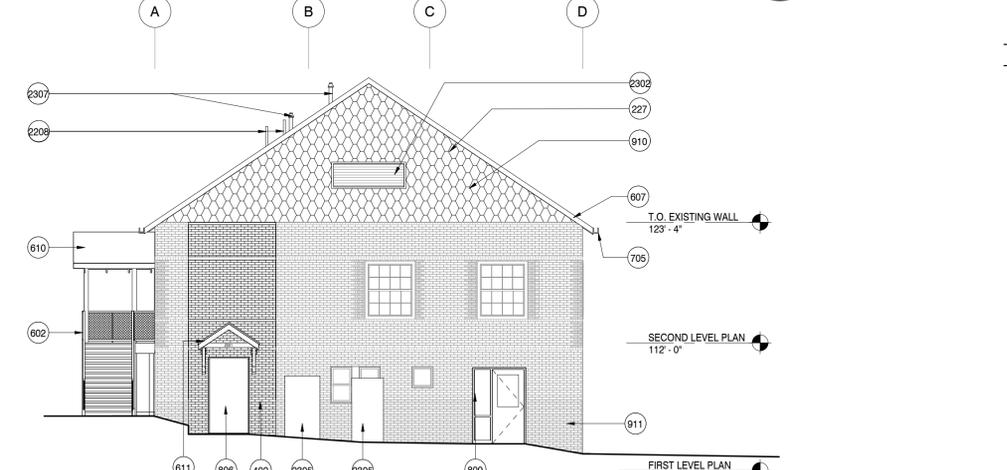
**EAST ELEVATION**  
1/8" = 1'-0" PUD-6



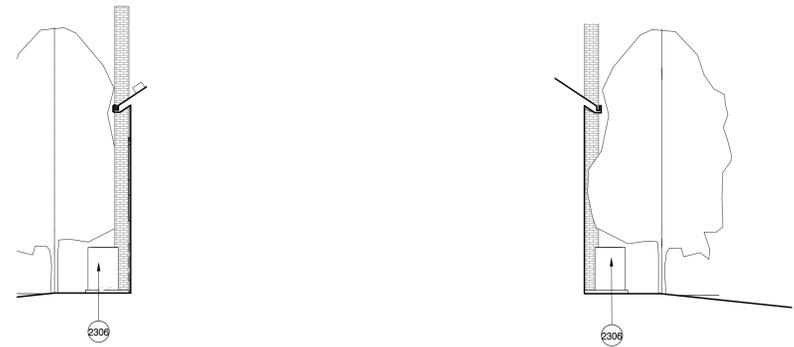
**NORTH ELEVATION**  
1/8" = 1'-0" PUD-6



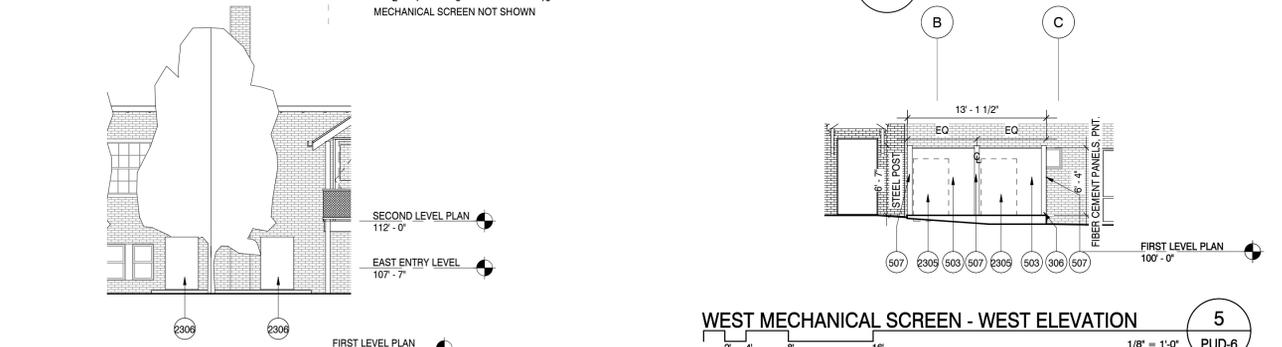
**SOUTH ELEVATION**  
1/8" = 1'-0" PUD-6



**WEST ELEVATION**  
1/8" = 1'-0" PUD-6  
MECHANICAL SCREEN NOT SHOWN



**NORTH CU - WEST ELEVATION** 1/8" = 1'-0" PUD-6  
**NORTH CU - EAST ELEVATION** 1/8" = 1'-0" PUD-6



**WEST MECHANICAL SCREEN - WEST ELEVATION**  
1/8" = 1'-0" PUD-6

**NORTH CU - NORTH ELEVATION**  
1/8" = 1'-0" PUD-6

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## ARCHITECTURAL BUILDING ELEVATIONS SHEET: 6 OF 6

DATE: 30 SEPTEMBER 2016